



The City
of

Oxford

MISSISSIPPI

Case 1882

Applicant: Park West, LLC

Owner: Park West, LLC

Request: Site plan approval

Location: Highway 6 West (PPIN 34369 and 7457)

Zoning: (GB) General Business and (RB) Two-unit Residential

Zoning History: Part of the 2007 annexation

Surrounding Zoning:

North: (RB) Two-unit Residential – Civic Club of Lafayette County

South: (GB) General Business – Church and Belk Ford/Toyota

East: (GB) General Business and (RB) Two-unit Residential – Gas station/convenient store

West: (GB) General Business and (RB) Two-unit Residential – Masonic Lodge and Church Salem United Methodist

Planner's Comments: The subject property is located on the north side of Highway 6 West and measures approximately 4.772 acres in total; the property is divided into two zoning classifications. The parcel adjacent to Hwy. 6 is approximately a 1.699 acre parcel and is zoned (GB) General Business. The remainder; zoned (RB) Two-Unit Residential is located to the rear or north and measures approximately 3.073 acres. A site plan was approved in 9/2012 for Stout's Sports Academy. The property was cleared and leveled to construct a commercial sports facility; however the project was never completed.

The applicant is seeking site plan approval to construct a commercial condominium complex comprised of two, 2-story professional office buildings for an approximate total of 23,500 square feet on the portion of the property zoned (GB) General Business and a 18-unit residential condominium complex on the property zoned (RC) Two-Unit Residential. The applicant is employing a LID (Low Impact Development) technique by using bioswales in the large cul-de-sac in the rear of the property and along the northwest border of the site; reducing the impact on the City's underground storm system.

The semi-circular drive serves as a traffic calming measure between the residential and commercial uses.

The applicants met with the site plan review committee on August 27th and have made all necessary revisions.

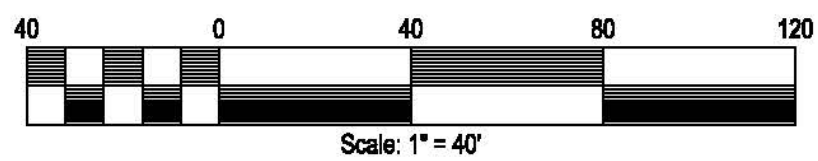
Recommendation: Staff recommends approval of the site plan for 'Park West'- a mixed use condominium complex with the following conditions:

1. All storm water calculations for the project shall be approved by the City's engineers prior to the issuance of any permits.
2. A copy of the covenants as stamped and recorded in the Chancery Clerk's office to be submitted to the planning department prior to the issuance of a Certificate of Occupancy.
3. Site plan filed with the chancery clerk to contain language regarding condominium complex's as defined by the City of Oxford's Land Development Code and that the homeowners association maintain all common areas indicated on the recorded plan.
4. The covenants shall include language that the 'Non-parking' areas will be the owner's responsibility to enforce.









LEGEND

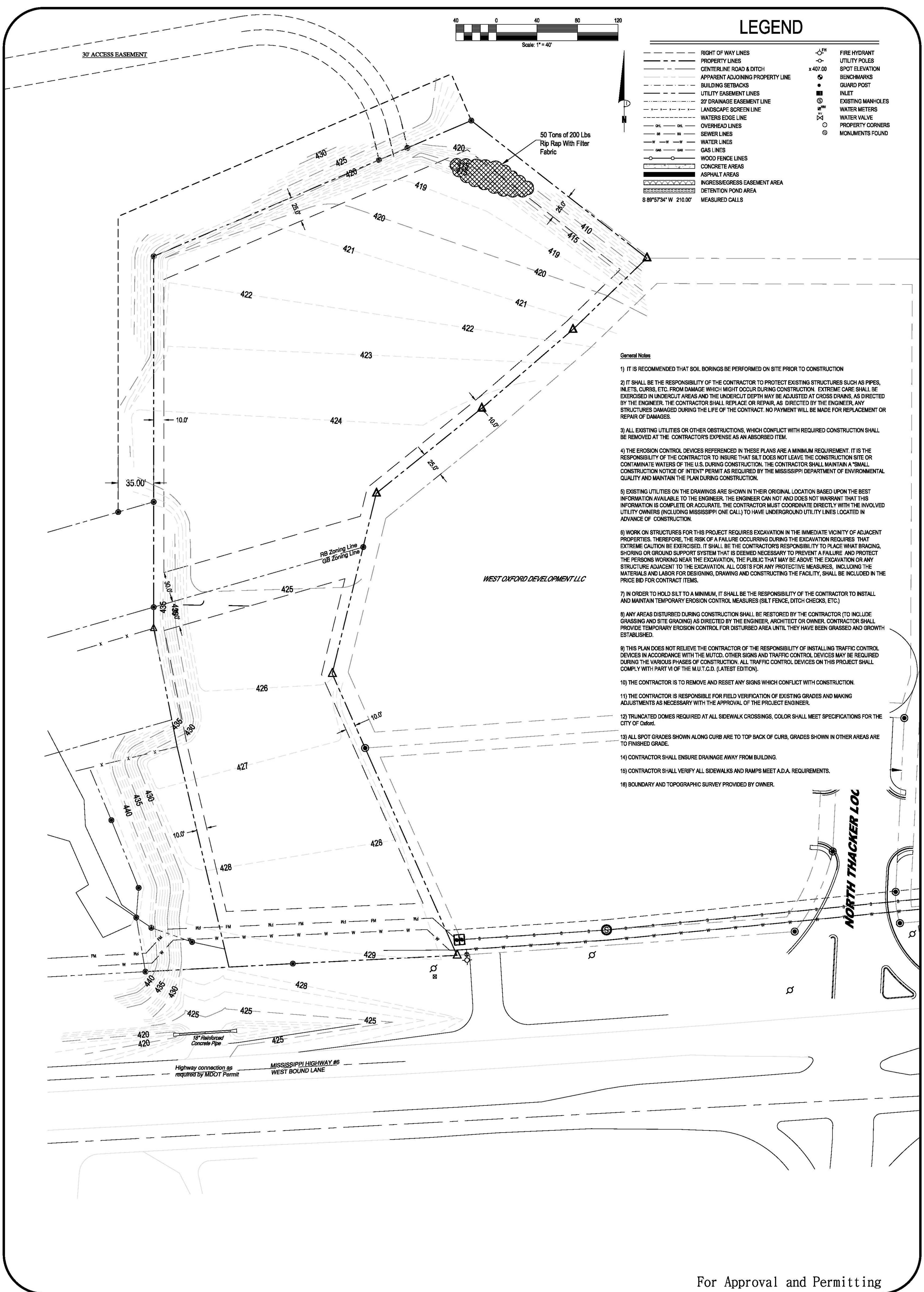
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General Notes

- 1) IT IS RECOMMENDED THAT SOIL BORINGS BE PERFORMED ON SITE PRIOR TO CONSTRUCTION
- 2) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING STRUCTURES SUCH AS PIPES, INLETS, CURBS, ETC. FROM DAMAGE WHICH MIGHT OCCUR DURING CONSTRUCTION. EXTREME CARE SHALL BE EXERCISED IN UNDERCUT AREAS AND THE UNDERCUT DEPTH MAY BE ADJUSTED AT CROSS DRAINS, AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL REPLACE OR REPAIR, AS DIRECTED BY THE ENGINEER, ANY STRUCTURES DAMAGED DURING THE LIFE OF THE CONTRACT. NO PAYMENT WILL BE MADE FOR REPLACEMENT OR REPAIR OF DAMAGES.
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- 10) THE CONTRACTOR IS TO REMOVE AND RESET ANY SIGNS WHICH CONFLICT WITH CONSTRUCTION.
- 11) THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING GRADES AND MAKING ADJUSTMENTS AS NECESSARY WITH THE APPROVAL OF THE PROJECT ENGINEER.
- 12) TRUNCATED DOMES REQUIRED AT ALL SIDEWALK CROSSINGS, COLOR SHALL MEET SPECIFICATIONS FOR THE CITY OF Oxford.
- 13) ALL SPOT GRADES SHOWN ALONG CURB ARE TO TOP BACK OF CURB, GRADES SHOWN IN OTHER AREAS ARE TO FINISHED GRADE.
- 14) CONTRACTOR SHALL ENSURE DRAINAGE AWAY FROM BUILDING.
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- 16) BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY OWNER.

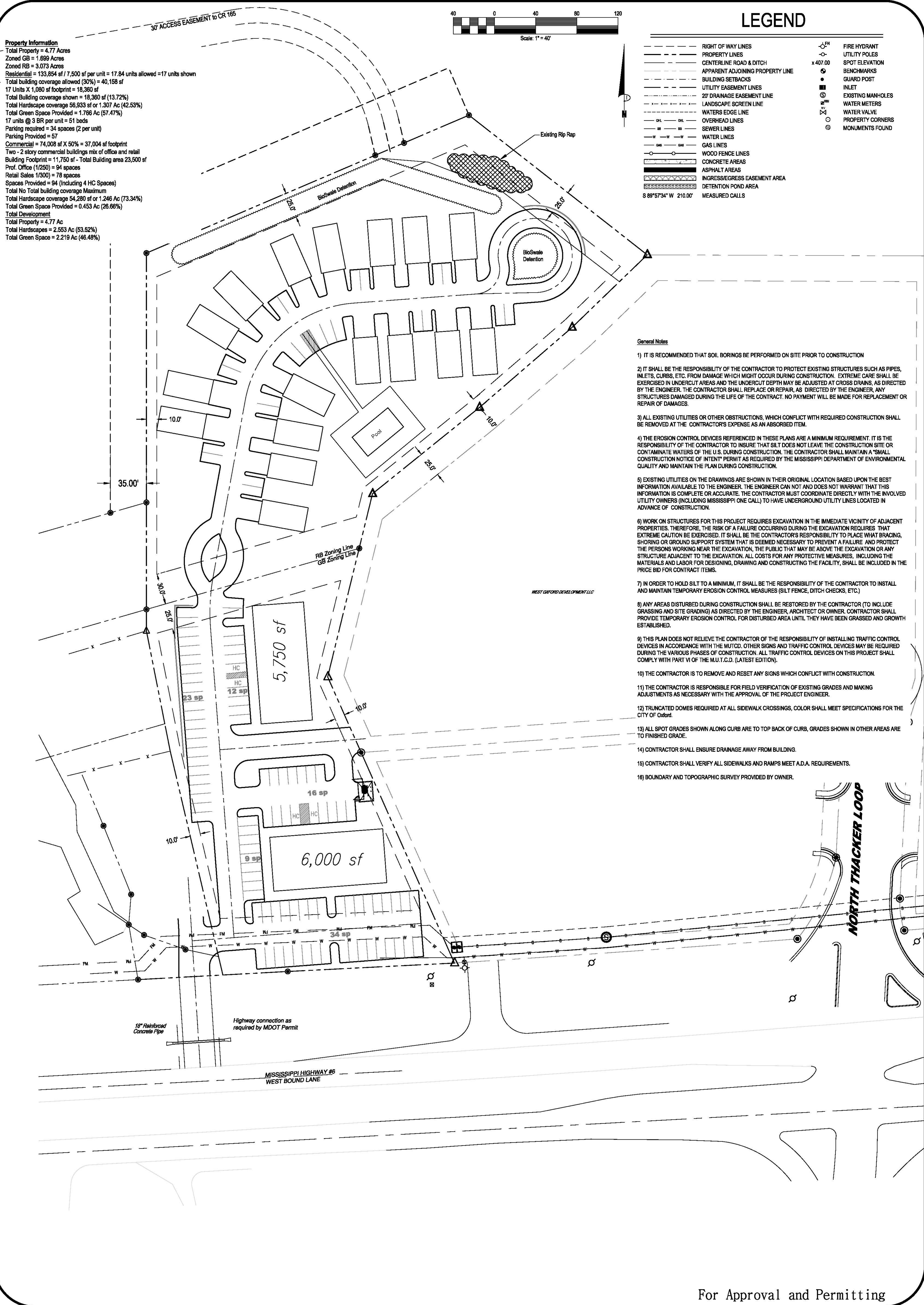
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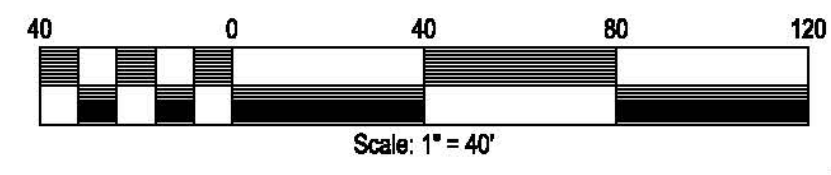


For Approval and Permitting

Sheet No.: C 1.0	Existing Site Conditions	Checked By: JMW Drawn By: EDJ Pld No.: SP-14288	Scale: 1" = 40' Date: August 25, 2014 The Owner/Professional Seal is on the next page	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REVISION	DATE			Construction Plans for: Park West Condominiums - Park West, LLC 1105 North Lamar Blvd City of Oxford, Lafayette County, Mississippi		WILLIAMS ENGINEERING CONSULTANTS, INC. Professional Engineers Professional Land Surveyors 720 NORTH LAMAR BOULEVARD, SUITE A P.O. BOX 1197 OXFORD, MISSISSIPPI 38665 662.236.9675
REVISION	DATE										



Property Information
 Total Property = 4.77 Acres
 Zoned GB = 1.699 Acres
 Zoned RB = 3.073 Acres
 Residential = 133,854 sf / 7,500 sf per unit = 17.84 units allowed = 17 units shown
 Total building coverage allowed (30%) = 40,158 sf
 17 Units X 1,080 sf footprint = 18,360 sf
 Total Building coverage shown = 18,360 sf (13.72%)
 Total Hardscape coverage 56,933 sf or 1.307 Ac (42.53%)
 Total Green Space Provided = 1.766 Ac (57.47%)
 17 units @ 3 BR per unit = 51 beds
 Parking required = 34 spaces (2 per unit)
 Parking Provided = 57
 Commercial = 74,008 sf X 50% = 37,004 sf footprint
 Two - 2 story commercial buildings mix of office and retail
 Building Footprint = 11,750 sf - Total Building area 23,500 sf
 Prof. Office (1/250) = 94 spaces
 Retail Sales (1/300) = 78 spaces
 Spaces Provided = 94 (Including 4 HC Spaces)
 Total No Total building coverage Maximum
 Total Hardscape coverage 54,280 sf or 1.246 Ac (73.34%)
 Total Green Space Provided = 0.453 Ac (26.66%)
Total Development
 Total Property = 4.77 Ac
 Total Hardscapes = 2.553 Ac (53.52%)
 Total Green Space = 2.219 Ac (46.48%)



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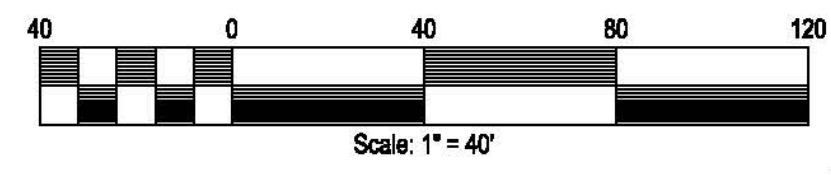
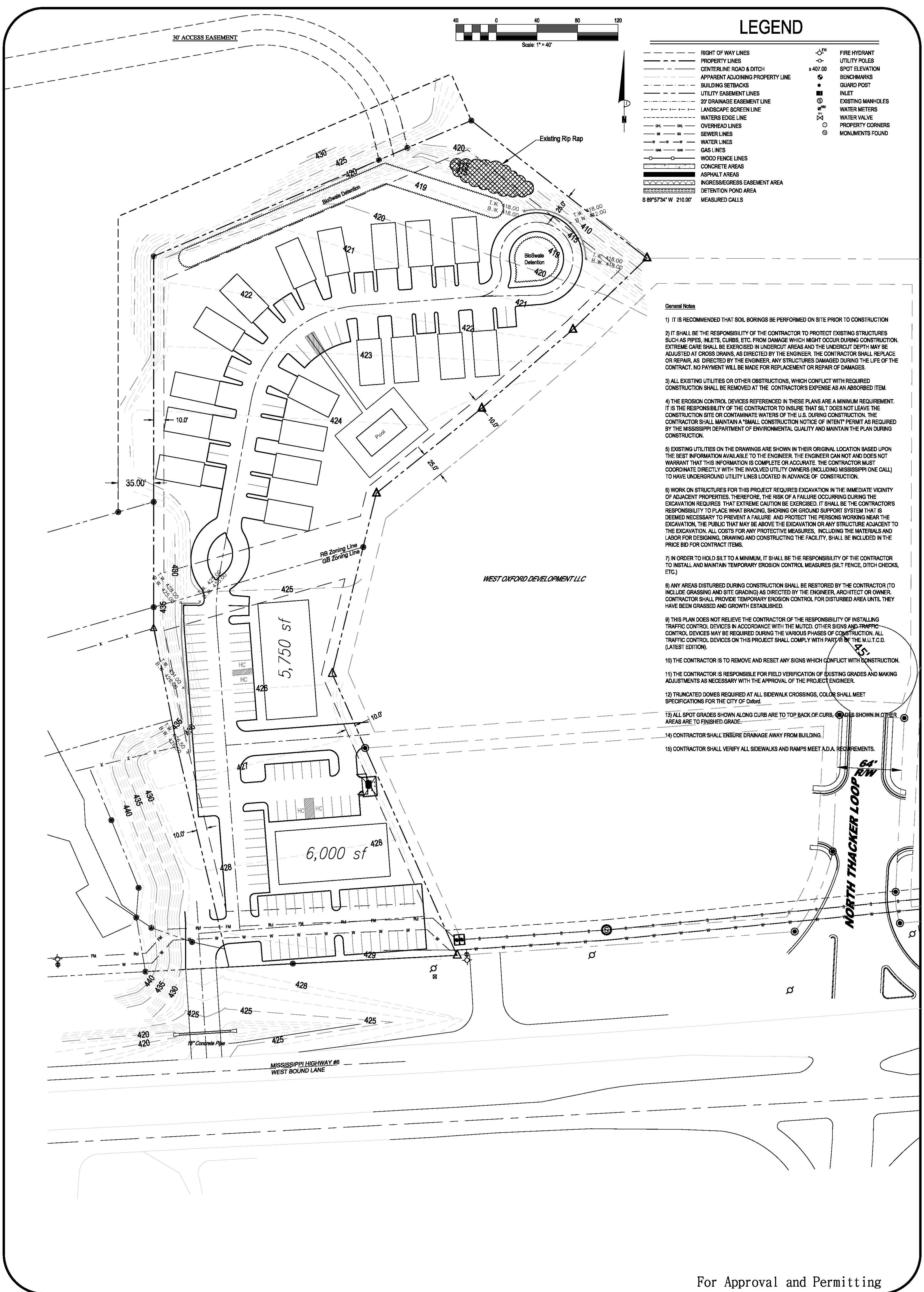
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Sheet No.: C2.0	Site Layout	<p>Construction Plans for: Park West Condominiums - Park West, LLC 1105 North Lamar City of Oxford, Lafayette County, Mississippi</p>		<p>WILLIAMS ENGINEERING CONSULTANTS, INC. Professional Engineers Professional Land Surveyors</p> <p>720 NORTH LAMAR BOULEVARD, SUITE A P.O. BOX 1197 OXFORD, MISSISSIPPI 38665 662.236.9675</p>
Scale: 1" = 40'	Date: August 25, 2014	The Engineer's Seal and Stamp: Proj No.: SP-14288	Drawn By: EJL	Checked By: JMW
REVISION DATE				



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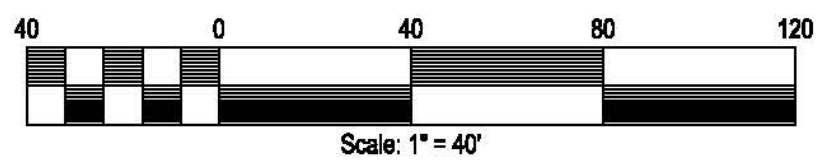
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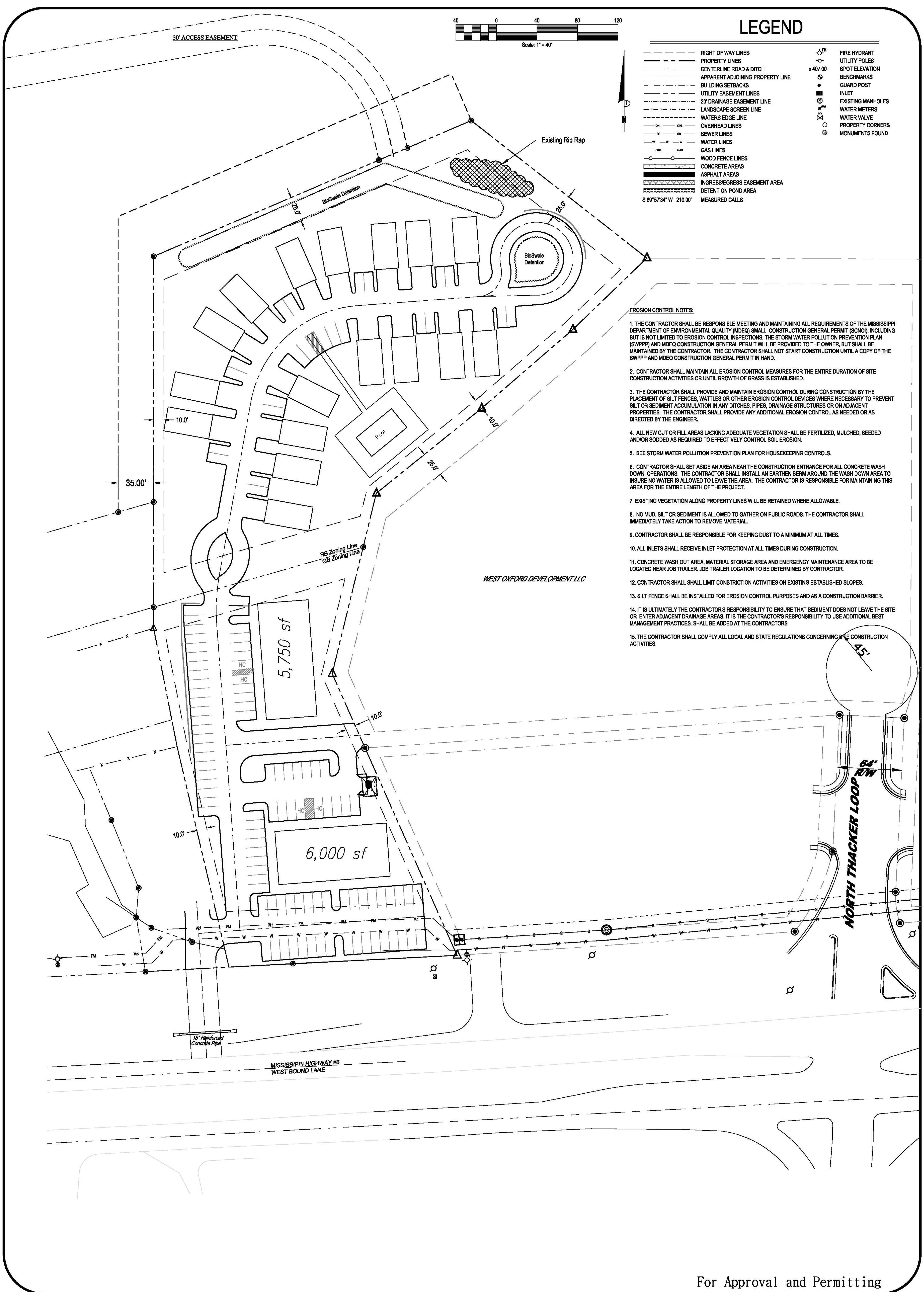
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EROSION CONTROL NOTES:

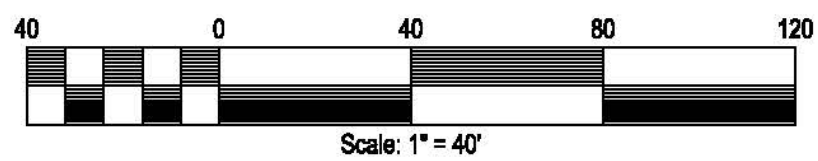
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2. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES FOR THE ENTIRE DURATION OF SITE CONSTRUCTION ACTIVITIES OR UNTIL GROWTH OF GRASS IS ESTABLISHED.
3. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES, WATTLES OR OTHER EROSION CONTROL DEVICES WHERE NECESSARY TO PREVENT SILT OR SEDIMENT ACCUMULATION IN ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ON ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
4. ALL NEW CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MULCHED, SEEDED AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
5. SEE STORM WATER POLLUTION PREVENTION PLAN FOR HOUSEKEEPING CONTROLS.
6. CONTRACTOR SHALL SET ASIDE AN AREA NEAR THE CONSTRUCTION ENTRANCE FOR ALL CONCRETE WASH DOWN OPERATIONS. THE CONTRACTOR SHALL INSTALL AN EARTHEN BERM AROUND THE WASH DOWN AREA TO INSURE NO WATER IS ALLOWED TO LEAVE THE AREA. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THIS AREA FOR THE ENTIRE LENGTH OF THE PROJECT.
7. EXISTING VEGETATION ALONG PROPERTY LINES WILL BE RETAINED WHERE ALLOWABLE.
8. NO MUD, SILT OR SEDIMENT IS ALLOWED TO GATHER ON PUBLIC ROADS. THE CONTRACTOR SHALL IMMEDIATELY TAKE ACTION TO REMOVE MATERIAL.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING DUST TO A MINIMUM AT ALL TIMES.
10. ALL INLETS SHALL RECEIVE INLET PROTECTION AT ALL TIMES DURING CONSTRUCTION.
11. CONCRETE WASH OUT AREA, MATERIAL STORAGE AREA AND EMERGENCY MAINTENANCE AREA TO BE LOCATED NEAR JOB TRAILER. JOB TRAILER LOCATION TO BE DETERMINED BY CONTRACTOR.
12. CONTRACTOR SHALL LIMIT CONSTRUCTION ACTIVITIES ON EXISTING ESTABLISHED SLOPES.
13. SILT FENCE SHALL BE INSTALLED FOR EROSION CONTROL PURPOSES AND AS A CONSTRUCTION BARRIER.
14. IT IS ULTIMATELY THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT SEDIMENT DOES NOT LEAVE THE SITE OR ENTER ADJACENT DRAINAGE AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO USE ADDITIONAL BEST MANAGEMENT PRACTICES. SHALL BE ADDED AT THE CONTRACTOR'S.
15. THE CONTRACTOR SHALL COMPLY ALL LOCAL AND STATE REGULATIONS CONCERNING SITE CONSTRUCTION ACTIVITIES.

WEST OXFORD DEVELOPMENT LLC



For Approval and Permitting

Sheet No.: C 50	Erosion Control Plan	Construction Plans for: Park West Condominiums - Park West, LLC 1105 North Lamar City of Oxford, Lafayette County, Mississippi		WILLIAMS ENGINEERING CONSULTANTS, INC. Professional Engineers Professional Land Surveyors 720 NORTH LAMAR BOULEVARD, SUITE A P.O. BOX 1197 OXFORD, MISSISSIPPI 38655 662.236.9675
	Scale: 1" = 40' Date: August 25, 2014 The Owner/Professional Engineer/Contractor shall be responsible for obtaining all necessary permits.	Drawn By: EDJ Checked By: JMW Sheet Title: Erosion Control Plan	REVISION DATE	



LEGEND

- RIGHT OF WAY LINES
 - PROPERTY LINES
 - CENTERLINE ROAD & DITCH
 - APPARENT ADJOINING PROPERTY LINE
 - BUILDING SETBACKS
 - UTILITY EASEMENT LINES
 - 20' DRAINAGE EASEMENT LINE
 - LANDSCAPE SCREEN LINE
 - WATERS EDGE LINE
 - OVERHEAD LINES
 - SEWER LINES
 - WATER LINES
 - GAS LINES
 - WOOD FENCE LINES
 - CONCRETE AREAS
 - ASPHALT AREAS
 - INGRESS/EGRESS EASEMENT AREA
 - DETENTION POND AREA
 - MEASURED CALLS
- ⊕ FIRE HYDRANT
 - ⊕ UTILITY POLES
 - ⊕ SPOT ELEVATION
 - ⊕ BENCHMARKS
 - ⊕ GUARD POST
 - ⊕ INLET
 - ⊕ EXISTING MANHOLES
 - ⊕ WATER METERS
 - ⊕ WATER VALVE
 - ⊕ PROPERTY CORNERS
 - ⊕ MONUMENTS FOUND
- ⊕ 25 - Parking Lot Tree
2" Caliper
 - ⊕ 58 - Mitigation Tree - Canopy
2" Caliper
 - ⊕ 24 - Understory
1.5" Caliper
 - ⊕ 7 - ROW Tree - Understory
1.5" Caliper
 - ⊕ 15 - Screen Tree
4" Caliper

Tree Mitigation
 116" Required Caliper Inches for Mitigation
 116" Provided Caliper inches for Mitigation

SITELANDSCAPING

SITE LANDSCAPE NOTES

TOPSOIL & MULCH
 IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FILL PLANTING BEDS WITH 4" OF THE BEST AVAILABLE ON-SITE TOPSOIL. IF THE LANDSCAPE CONTRACTOR FEELS THAT MORE ON-SITE TOPSOIL OR OFF-SITE TOPSOIL IS REQUIRED FOR THE LONG TERM SURVIVAL OF THE PLANT MATERIALS, THEN HE SHALL INCLUDE THIS ON HIS PROPOSAL AS AN ALTERNATE.

TOPSOIL SHALL BE CLEANED AND PULVERIZED AS NECESSARY BY LANDSCAPE CONTRACTOR TO PROVIDE A FINE, EVEN TEXTURED SOIL FOR PLANTING BEDS.

LANDSCAPE CONTRACTOR SHALL PROVIDE FERTILIZER FOR PLANTING BEDS AS REQUIRED.

LANDSCAPE CONTRACTOR SHALL PROVIDE 2" OF BARK MULCH AT ALL PLANTING BEDS, INDIVIDUAL TREES AND SHRUB GROUPINGS. PRIOR TO MULCHING.

PLANTING BEDS SHALL BE TREATED WITH A GRANULAR HERBICIDE TO PREVENT WEED GROWTH.

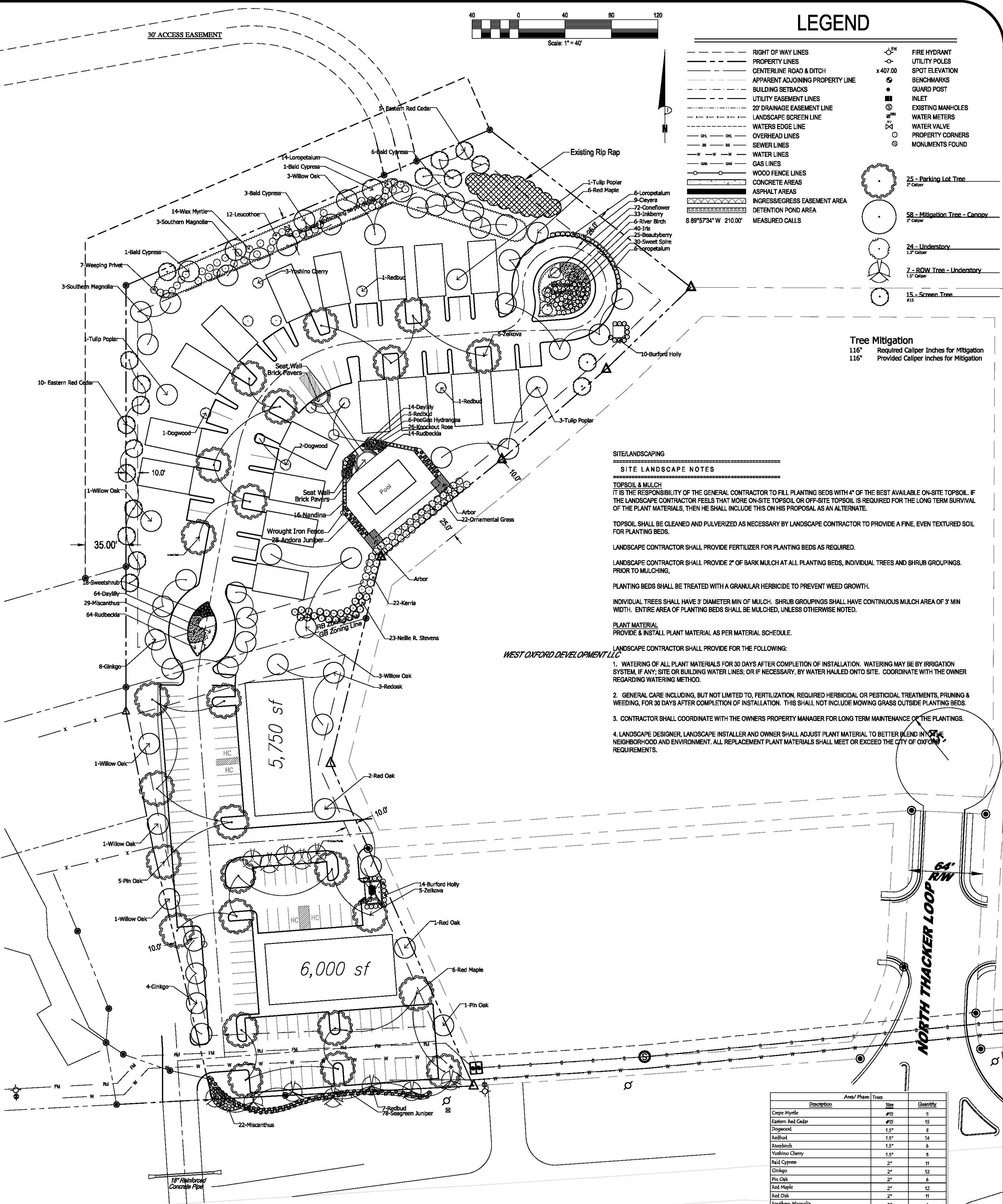
INDIVIDUAL TREES SHALL HAVE 3' DIAMETER MIN OF MULCH. SHRUB GROUPINGS SHALL HAVE CONTINUOUS MULCH AREA OF 3' MIN WIDTH. ENTIRE AREA OF PLANTING BEDS SHALL BE MULCHED, UNLESS OTHERWISE NOTED.

PLANT MATERIAL
 PROVIDE & INSTALL PLANT MATERIAL AS PER MATERIAL SCHEDULE.

LANDSCAPE CONTRACTOR SHALL PROVIDE FOR THE FOLLOWING:

1. WATERING OF ALL PLANT MATERIALS FOR 30 DAYS AFTER COMPLETION OF INSTALLATION. WATERING MAY BE BY IRRIGATION SYSTEM IF ANY, SITE OR BUILDING WATER LINES, OR IF NECESSARY, BY WATER HAULED ONTO SITE. COORDINATE WITH THE OWNER REGARDING WATERING METHOD.
2. GENERAL CARE INCLUDING, BUT NOT LIMITED TO, FERTILIZATION, REQUIRED HERBICIDAL OR PESTICIDAL TREATMENTS, PRUNING & WEEDING, FOR 30 DAYS AFTER COMPLETION OF INSTALLATION. THIS SHALL NOT INCLUDE MOWING GRASS OUTSIDE PLANTING BEDS.
3. CONTRACTOR SHALL COORDINATE WITH THE OWNERS PROPERTY MANAGER FOR LONG TERM MAINTENANCE OF THE PLANTINGS.
4. LANDSCAPE DESIGNER, LANDSCAPE INSTALLER AND OWNER SHALL ADJUST PLANT MATERIAL TO BETTER BLEND INTO THE NEIGHBORHOOD AND ENVIRONMENT. ALL REPLACEMENT PLANT MATERIALS SHALL MEET OR EXCEED THE CITY OF OXFORD REQUIREMENTS.

WEST OXFORD DEVELOPMENT LLC



Description	Area/Phase	Tree	Size	Quantity
Crape Myrtle		#15	5	
Eastern Red Cedar		#15	15	
Dogwood		1.5"	5	
Redbud		1.5"	14	
Riverbirch		1.5"	6	
Yoshino Cherry		1.5"	8	
Bald Cypress		2"	11	
Ginkgo		2"	12	
Pin Oak		2"	6	
Red Maple		2"	12	
Red Oak		2"	11	
Southern Magnolia		2"	6	
Tulip Poplar		2"	5	
Willow Oak		2"	10	
Zelkova		2"	10	
Description	Area/Phase	Phase 2	Size	Quantity
Coneflower		#1	72	
Daylily		#1	78	
Iris		#1	40	
Rudbeckia		#1	78	
Andromeda Juniper		#5	28	
Inkberry		#5	55	
Knockout Rose		#5	26	
Miscanthus		#5	51	
Nandina		#5	16	
Sweet Shrub		#5	18	
Beauty Berry		#5	25	
Burford Holly		#5	24	
Cleyera		#5	9	
Loropetalum		#5	12	
Loropetalum		#5	26	
PeeGee Hydrangea		#5	6	
Sequoia Juniper		#5	78	
Sweetspire		#5	20	
Wax Myrtle		#5	14	
Weeping Privet		#5	7	
Kerria		#5	22	
Nellie R. Stevens		#5	23	
Ornamental Grass		#5	22	