



Case 2013

- Applicant:** CA Student Living
- Owner:** Same
- Request:** Site Plan Approval for Jackson Row
- Location:** 405 Jackson Avenue West
- Zoning:** (GB) General Business
- History:** Case #1683 Special Exception for Jackson Row
Case #1684 Site Plan Approval for Jackson Row
Case #1948 Special Exception for Jackson Row (renewal)
Case #2012 Special Exception for Jackson Row

Surrounding Zoning and Uses:

- North:** (GB) General Business – Christ Church Temple, James Food Center
- South:** (RB) Two-Unit Residential – Residences (single and multi)
- East:** (GB) General Business - Adelaide Place Condominiums and Star Package
- West:** (GB) General Business – Rental Property

Planner's Comments:

The applicant is seeking a site plan approval for the Jackson Row project. The subject property is approximately +/- 41,469 square feet or .95 acres located to the south of Jackson Avenue West and east of South 6th Street. The property slopes steadily downward from South 6th Street to Adelaide Place and the elevation between the subject property and the property to the south along Van Buren is considerable. General Business uses along with two churches have been in existence and occupying the length of this portion of Jackson Avenue since the early 1900's.

The applicant is proposing to build a 5 story, +/- 110,411 square feet building and includes 10,600 square feet of commercial space. The residential portion of the development contains 69 units, 224 beds and 232 underground parking spaces. Oxford's Conservation Overlay district requires that impervious surfaces not exceed 60% of the lot area. In addition to the green space provided around the perimeter and the rear of the site, the applicant is proposing a green roof on the building. The building plans submitted for review have been determined to be compliant with

Oxford's height ordinance by the Building Department and Public Works. The Storm Water Detention Management Report for Jackson Row, submitted 10/21/15, is accepted and approved.

The applicant's site plan has been before the site plan review committee on numerous occasions and received final approval on 10/28/2015. All revisions have been made for compliance.

Recommendation: Approve the site plan for 'Jackson Row,' a mixed-use development with the following conditions:

1. There will be no on-street parking allowed on South 6th Street, adjacent to this property and the applicant will paint the curb yellow.
2. Non-parking areas will be the owner's responsibility to enforce.
3. Approval is for the site plan as submitted.

REVISIONS:			
NO.	DATE	REVISIONS	BY:

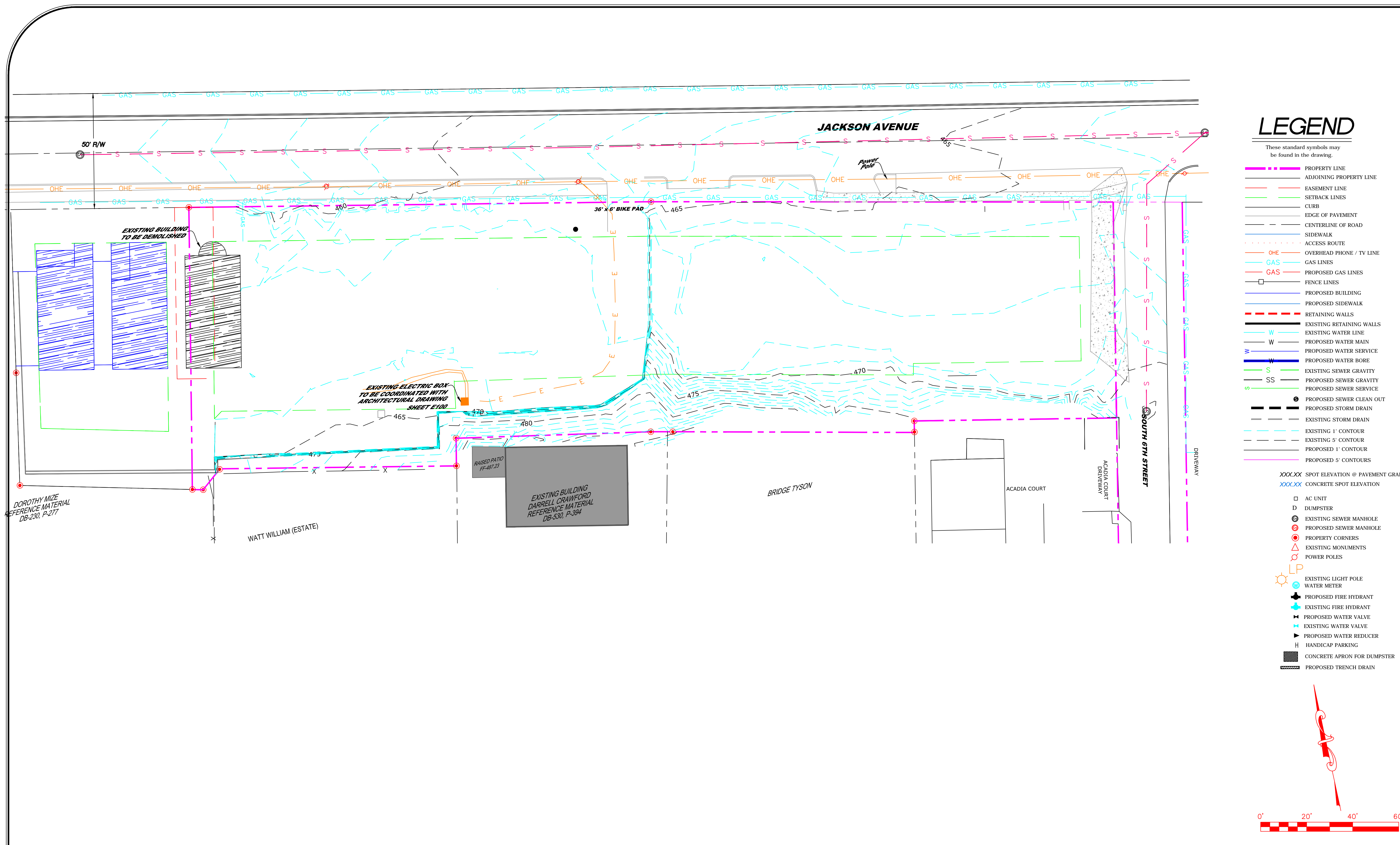


EXISTING TOPOGRAPHY
 FOR
JACKSON ROW
 OXFORD, MS

DRAWN BY: J. WILSON	DATE: 10/28/2015
CHECKED BY: P. KOSHENINA, P.E.	SCALE: 1"=20'
DRAWING NO.: 6088.01A	

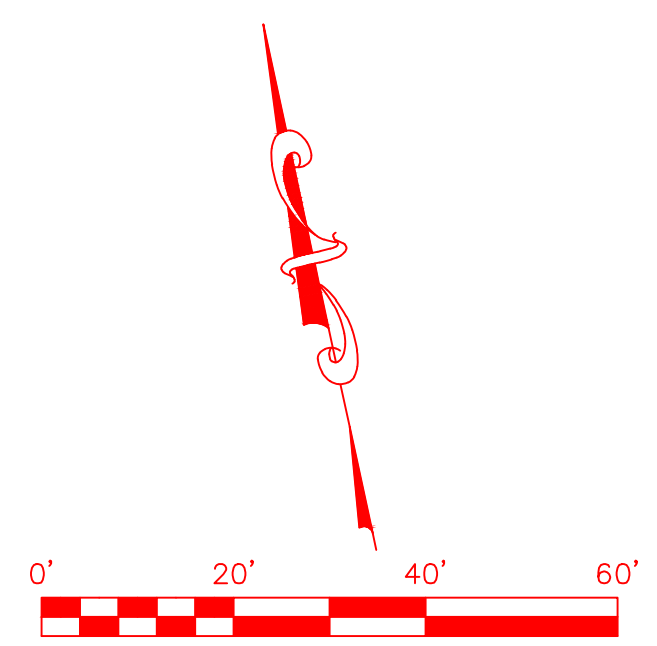
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PAGE NO.:
C2.2



LEGEND

- These standard symbols may be found in the drawing.
- PROPERTY LINE
 - ADJOINING PROPERTY LINE
 - EASEMENT LINE
 - SETBACK LINES
 - CURB
 - EDGE OF PAVEMENT
 - CENTERLINE OF ROAD
 - SIDEWALK
 - ACCESS ROUTE
 - OVERHEAD PHONE / TV LINE
 - GAS LINES
 - PROPOSED GAS LINES
 - FENCE LINES
 - PROPOSED BUILDING
 - PROPOSED SIDEWALK
 - RETAINING WALLS
 - EXISTING RETAINING WALLS
 - EXISTING WATER LINE
 - PROPOSED WATER MAIN
 - PROPOSED WATER SERVICE
 - PROPOSED WATER BORE
 - EXISTING SEWER GRAVITY
 - PROPOSED SEWER GRAVITY
 - PROPOSED SEWER SERVICE
 - PROPOSED SEWER CLEAN OUT
 - PROPOSED STORM DRAIN
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 - EXISTING 1' CONTOUR
 - EXISTING 5' CONTOUR
 - PROPOSED 1' CONTOUR
 - PROPOSED 5' CONTOUR
- XXX.XX SPOT ELEVATION @ PAVEMENT GRADE
 XXX.XX CONCRETE SPOT ELEVATION
- AC UNIT
 - DUMPSTER
 - EXISTING SEWER MANHOLE
 - PROPOSED SEWER MANHOLE
 - PROPERTY CORNERS
 - EXISTING MONUMENTS
 - POWER POLES
 - EXISTING LIGHT POLE
 - WATER METER
 - PROPOSED FIRE HYDRANT
 - EXISTING FIRE HYDRANT
 - PROPOSED WATER VALVE
 - EXISTING WATER VALVE
 - PROPOSED WATER REDUCER
 - HANDICAP PARKING
 - CONCRETE APRON FOR DUMPSTER
 - PROPOSED TRENCH DRAIN



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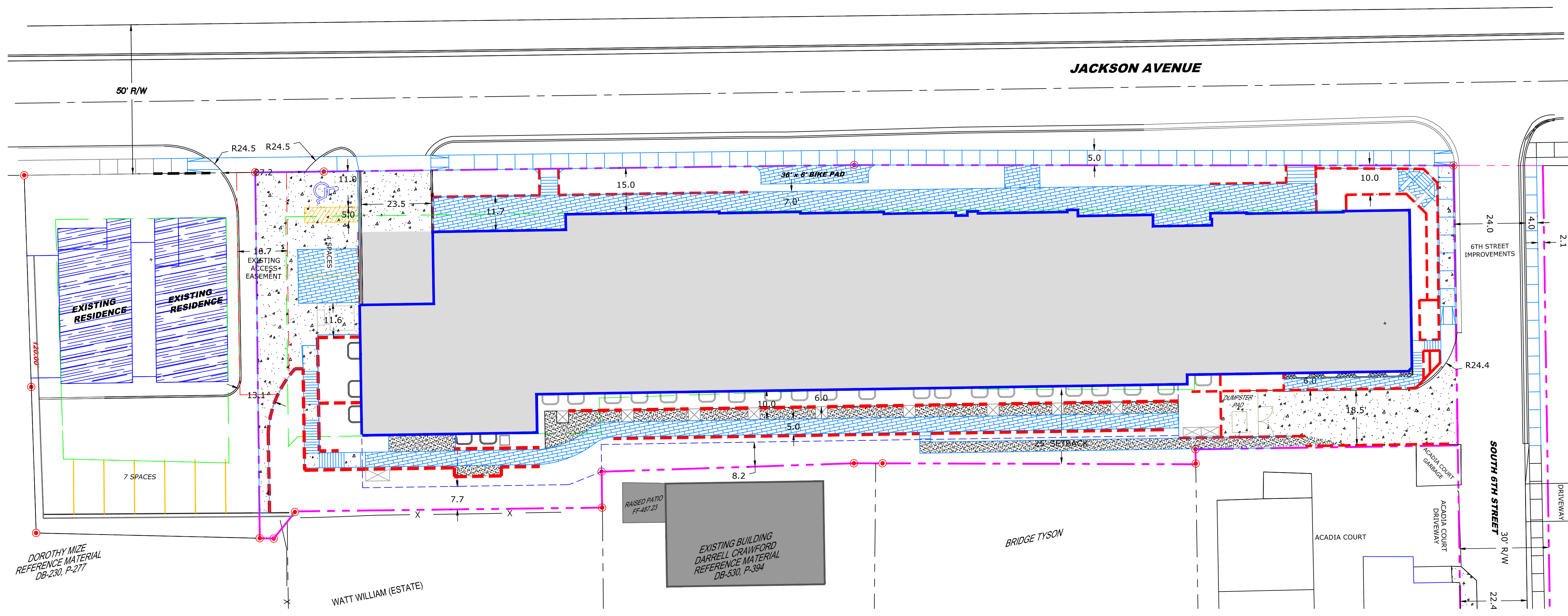


SITE LAYOUT FOR JACKSON ROW OXFORD, MS

DRAWN BY: J. WILSON	DATE: 10/28/2015
CHECKED BY: P. KOSHENINA, P.E.	SCALE: 1"=20'
DRAWING NO.: 6088.01A	

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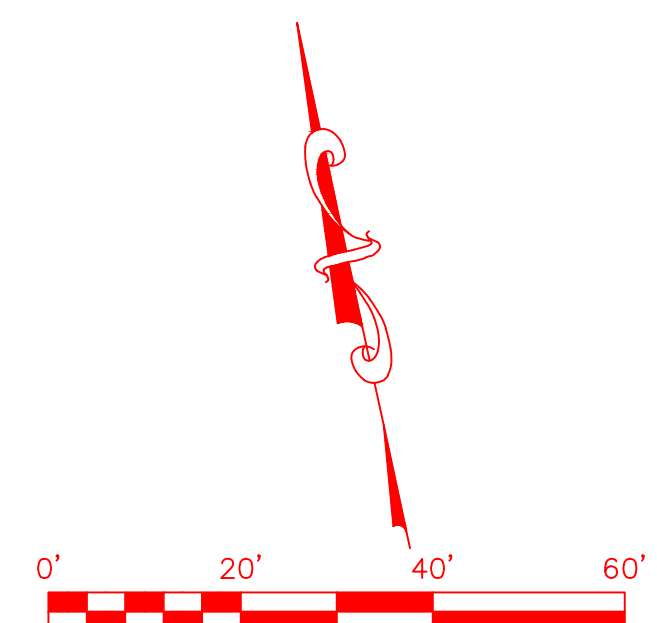


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 - H HANDICAP PARKING
 - CONCRETE APRON FOR DUMPSTER
 - PROPOSED TRENCH DRAIN

SITE LAYOUT NOTES:

PROPERTY AREA	41,469.3 SF 0.95 ACRES
ZONING	(N-C) NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT
SETBACKS	
FRONT	15 FEET
SIDE	10 FEET
REAR	25 FEET



DOROTHY MIZE
 REFERENCE MATERIAL
 DB-230, P-277

WATT WILLIAM (ESTATE)

RAISED PATIO
 FF-46123

EXISTING BUILDING
 DARRELL CRAWFORD
 REFERENCE MATERIAL
 DB-530, P-384

BRIDGE TYSON

ACADIA COURT

ACADIA COURT DRIVEWAY

SOUTH 6TH STREET

30' R/W

22.4

24.0

6TH STREET IMPROVEMENTS

24.0

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R24.5 R24.5

11.0

23.5

11.7

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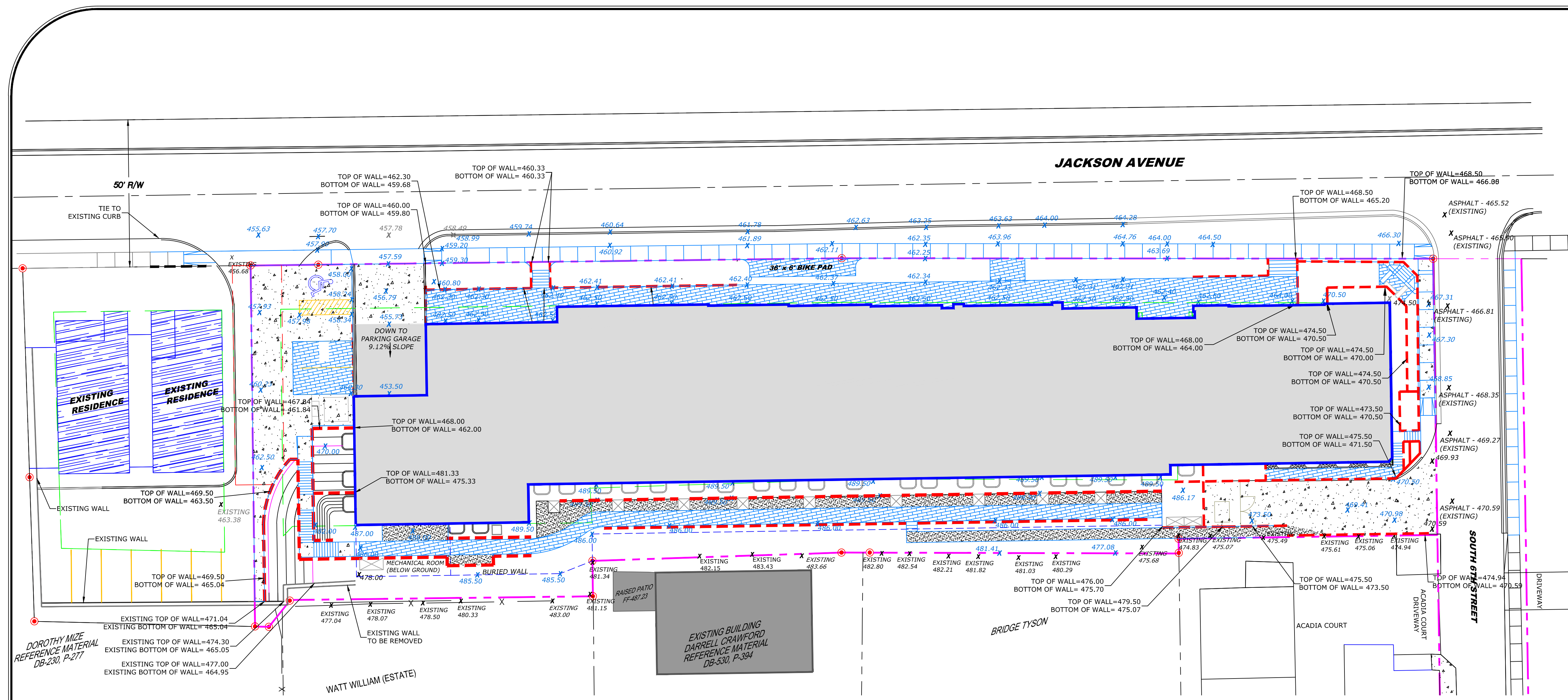
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REVISIONS:

NO.	DATE	REVISIONS:	BY:



GRADING PLAN
 FOR
JACKSON ROW
 OXFORD, MS



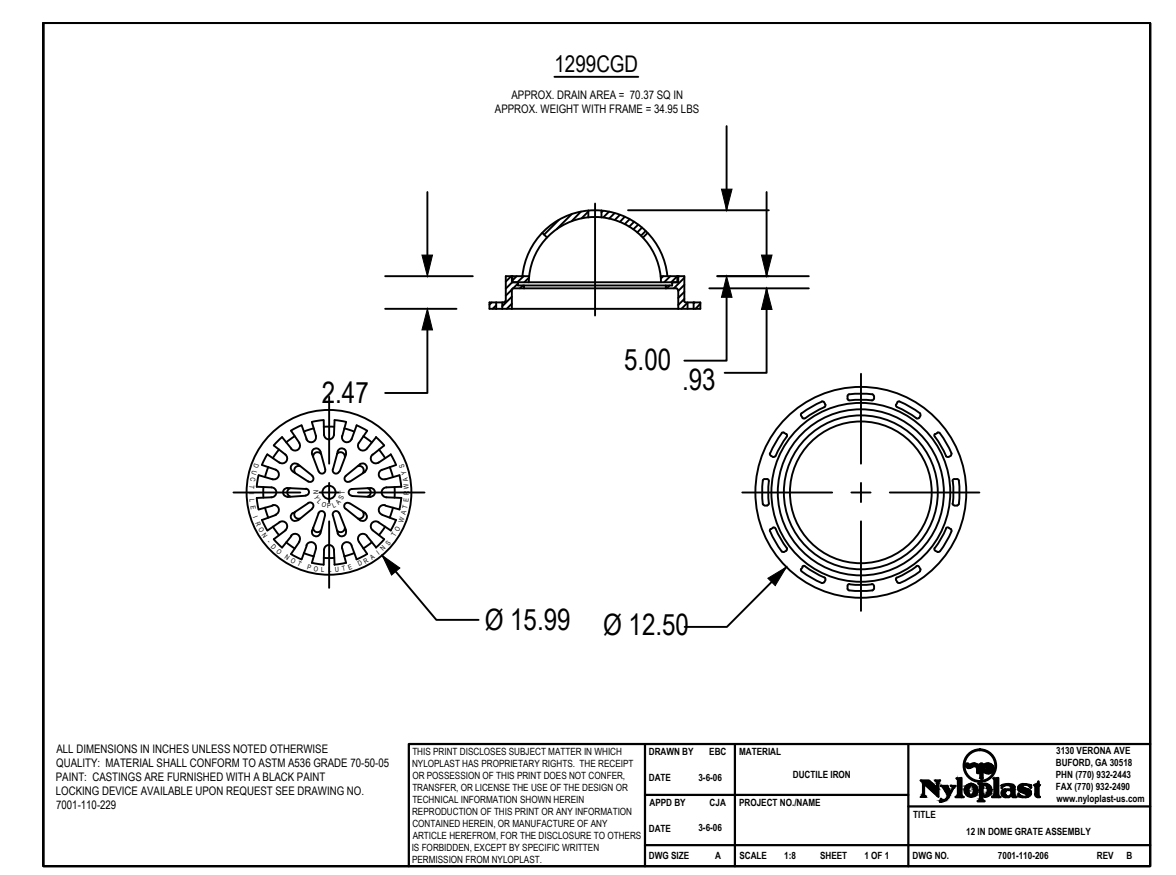
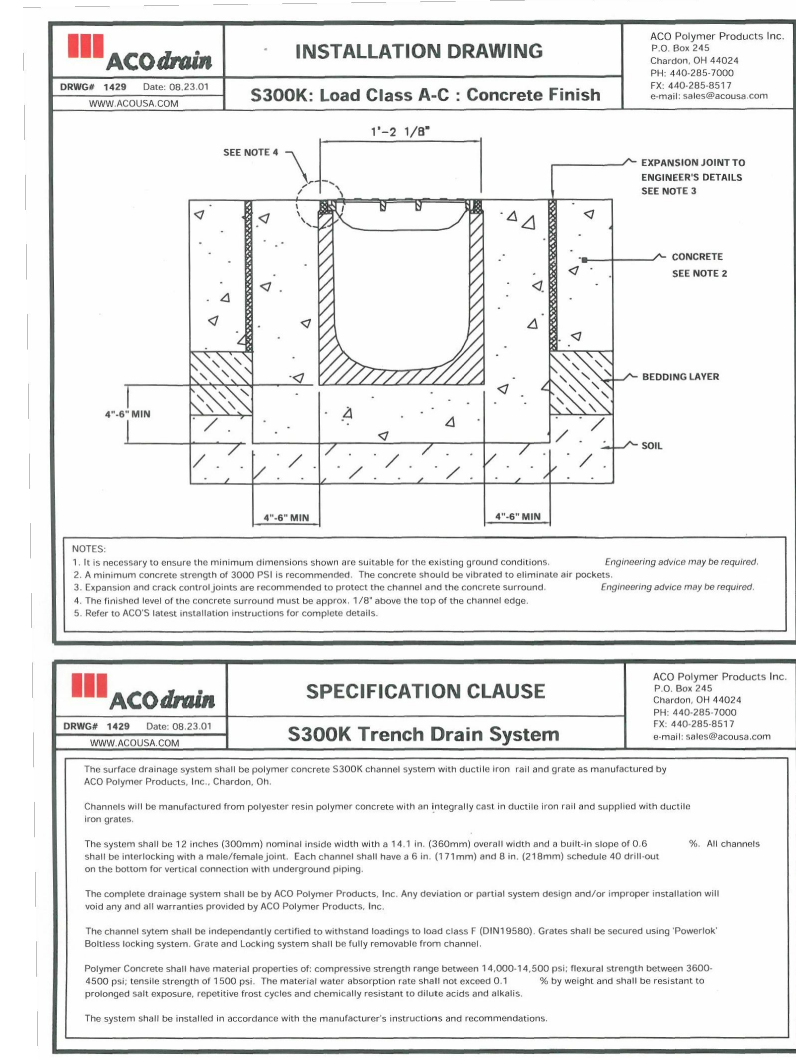
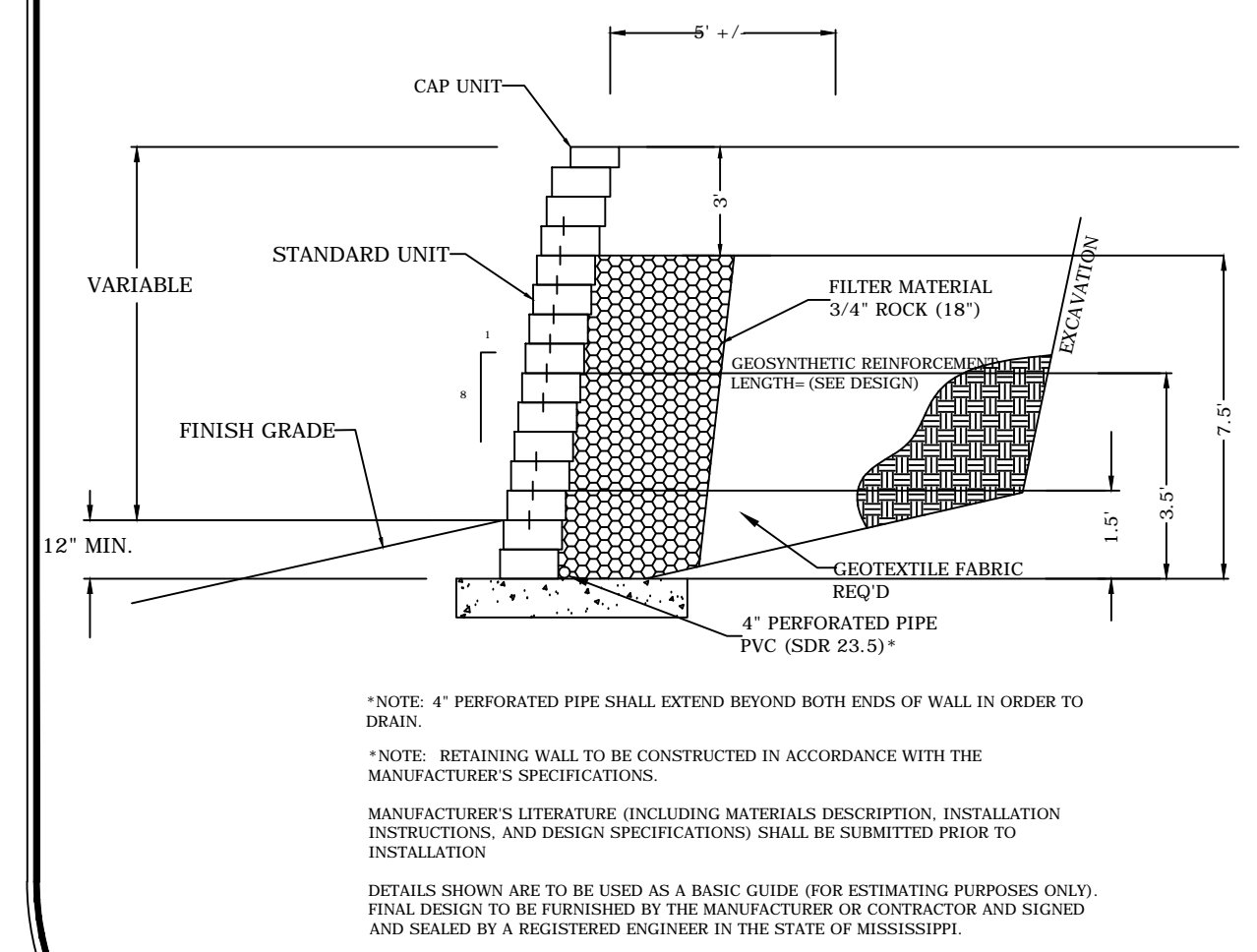
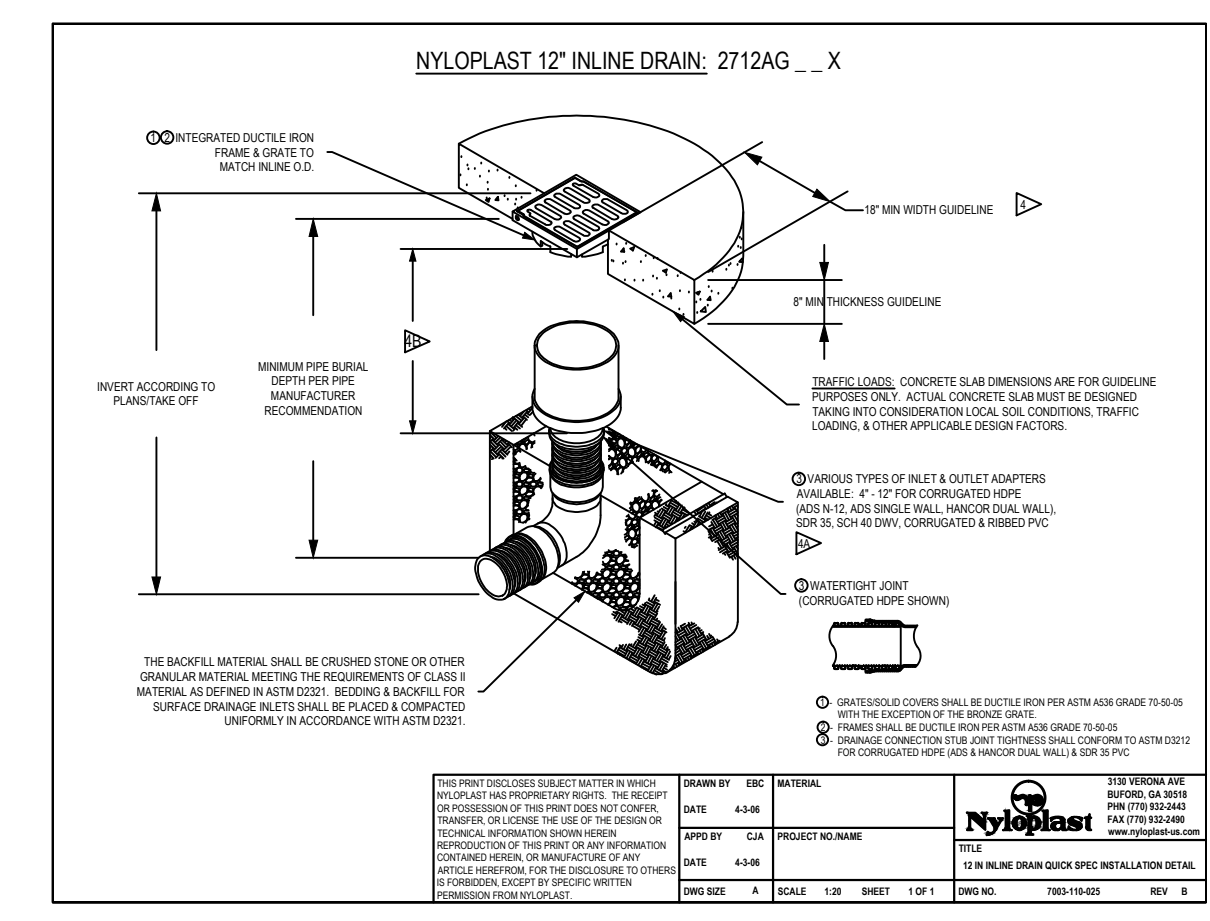
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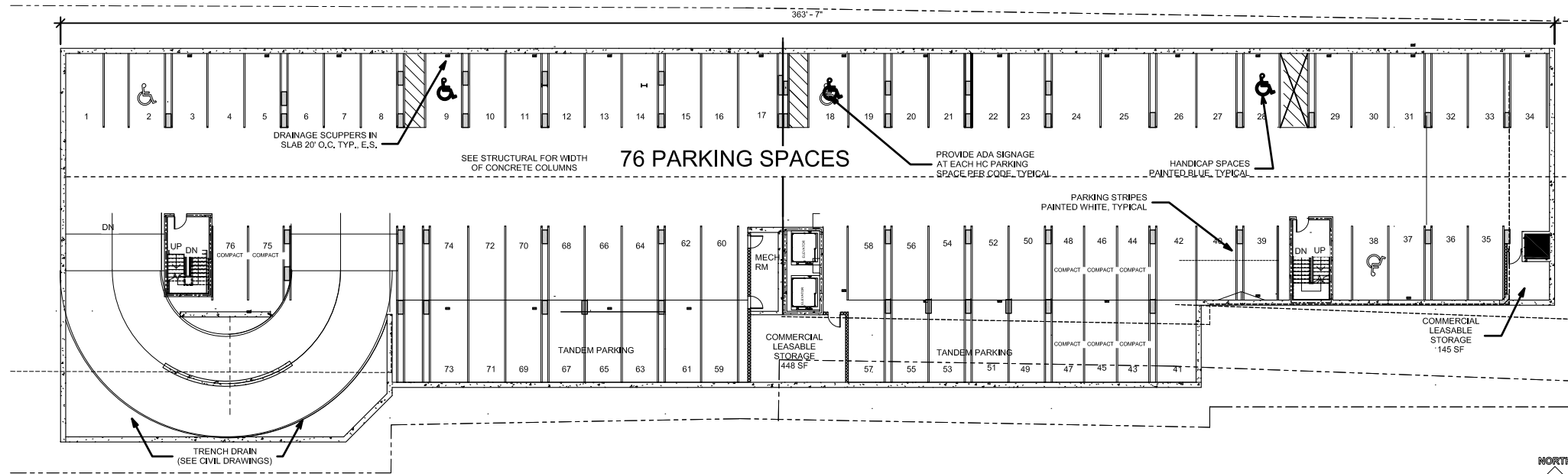
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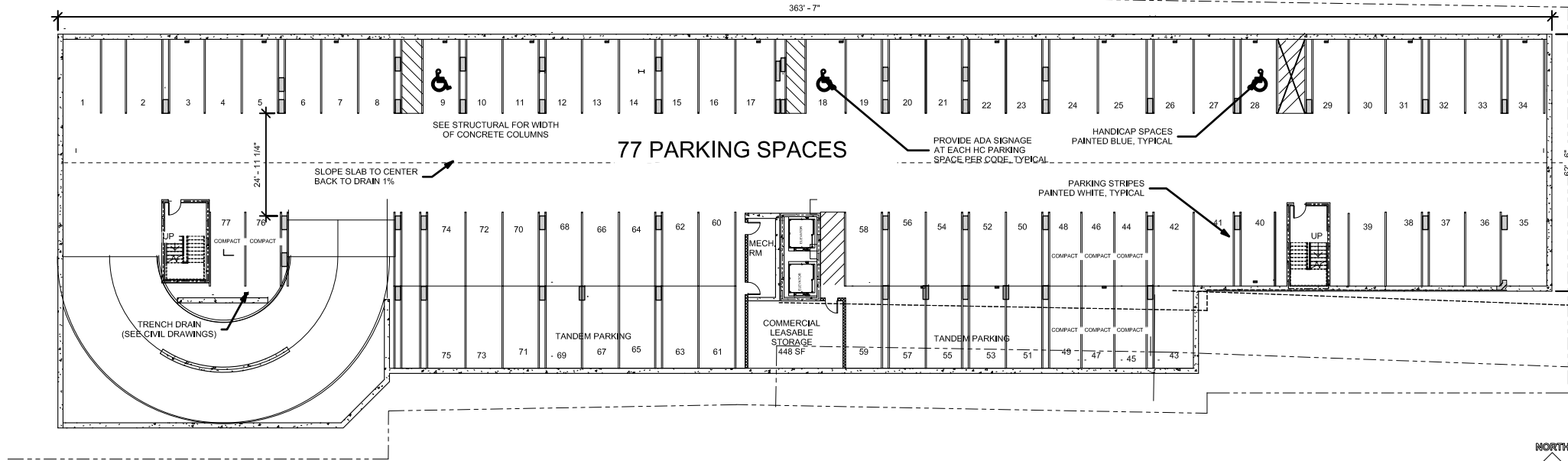
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GROUND LEVEL:	4 SPACES
LEVEL 1 PARKING GARAGE:	74 SPACES
LEVEL 2 PARKING GARAGE:	76 SPACES
LEVEL 3 PARKING GARAGE:	77 SPACES
TOTAL PARKING SPACES:	231 SPACES

PARKING LEVEL 2



GROUND LEVEL:	4 SPACES
LEVEL 1 PARKING GARAGE:	74 SPACES
LEVEL 2 PARKING GARAGE:	76 SPACES
LEVEL 3 PARKING GARAGE:	77 SPACES
TOTAL PARKING SPACES:	231 SPACES

PARKING LEVEL 3

SCALE: 3/32" = 1'-0" (24"x36" SHEET) 410

JACKSON ROW CA VENTURES

OXFORD, MS

Oct 13, 2015

HPA#15435

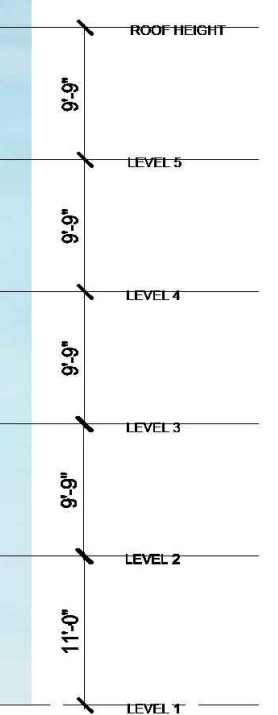


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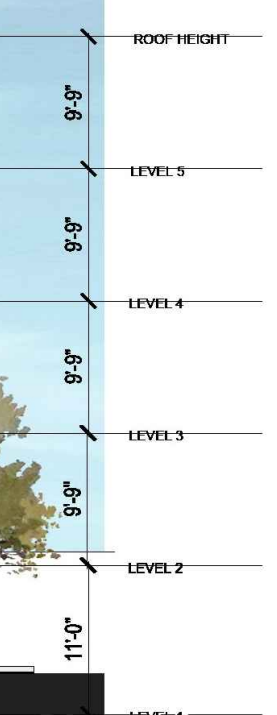
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TORONTO EDMONTON MONTEVIDEO DUBAI HANOI

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NORTH ELEVATION



EAST ELEVATION

BUILDING ELEVATIONS

JACKSON ROW
 CA VENTURES
 OXFORD, MS

Oct 28, 2015

HPA#15435



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SOUTH ELEVATION



WEST ELEVATION

BUILDING ELEVATIONS

JACKSON ROW
CA VENTURES
OXFORD, MS

Oct 28, 2015

HPA#15435



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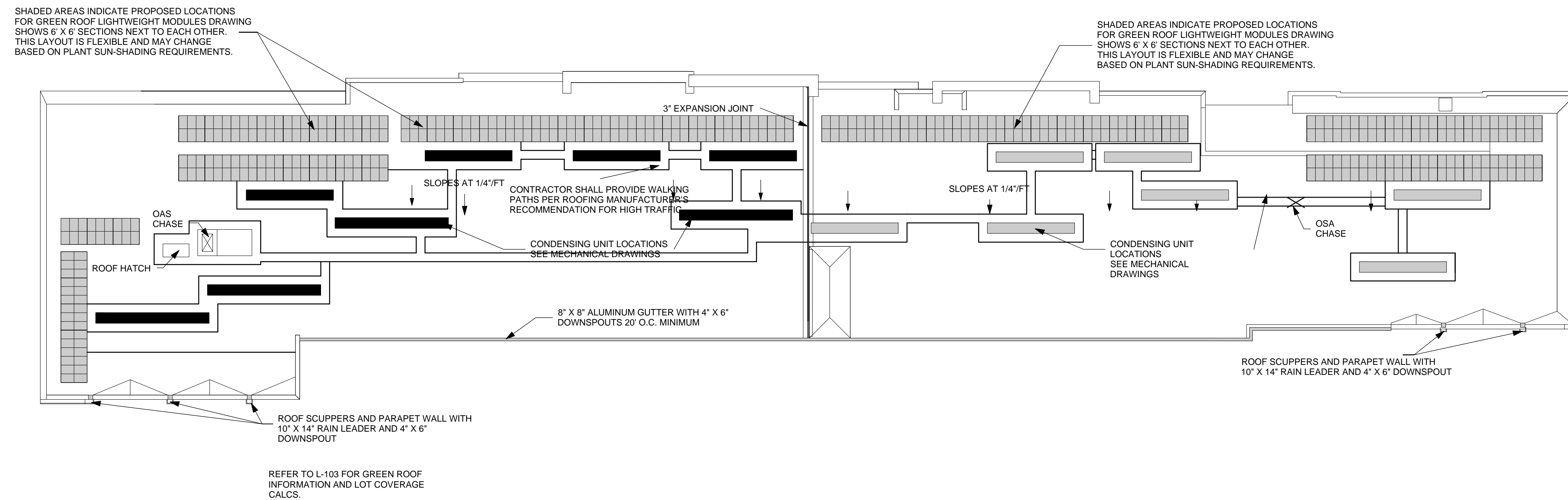
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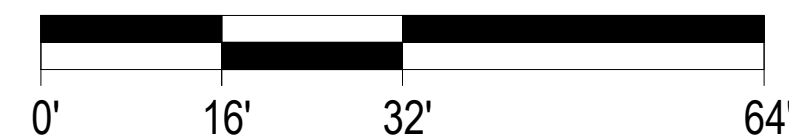
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SCALE: 1/16" = 1'-0" (24"x36" SHEET)



ROOF PLAN

A 405

JACKSON ROW
CA VENTURES
OXFORD, MS

Oct 28, 2015

HPA#15435



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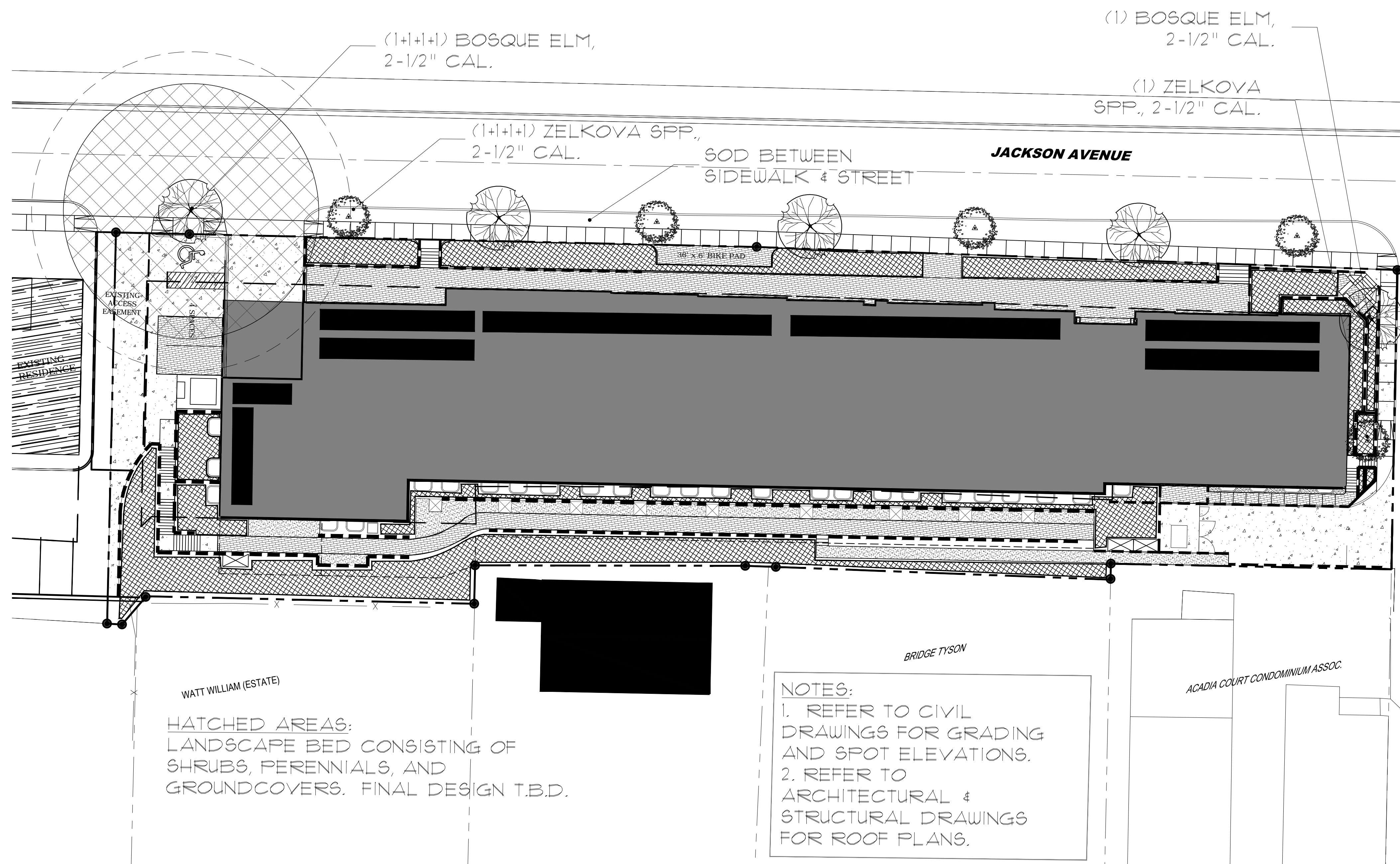
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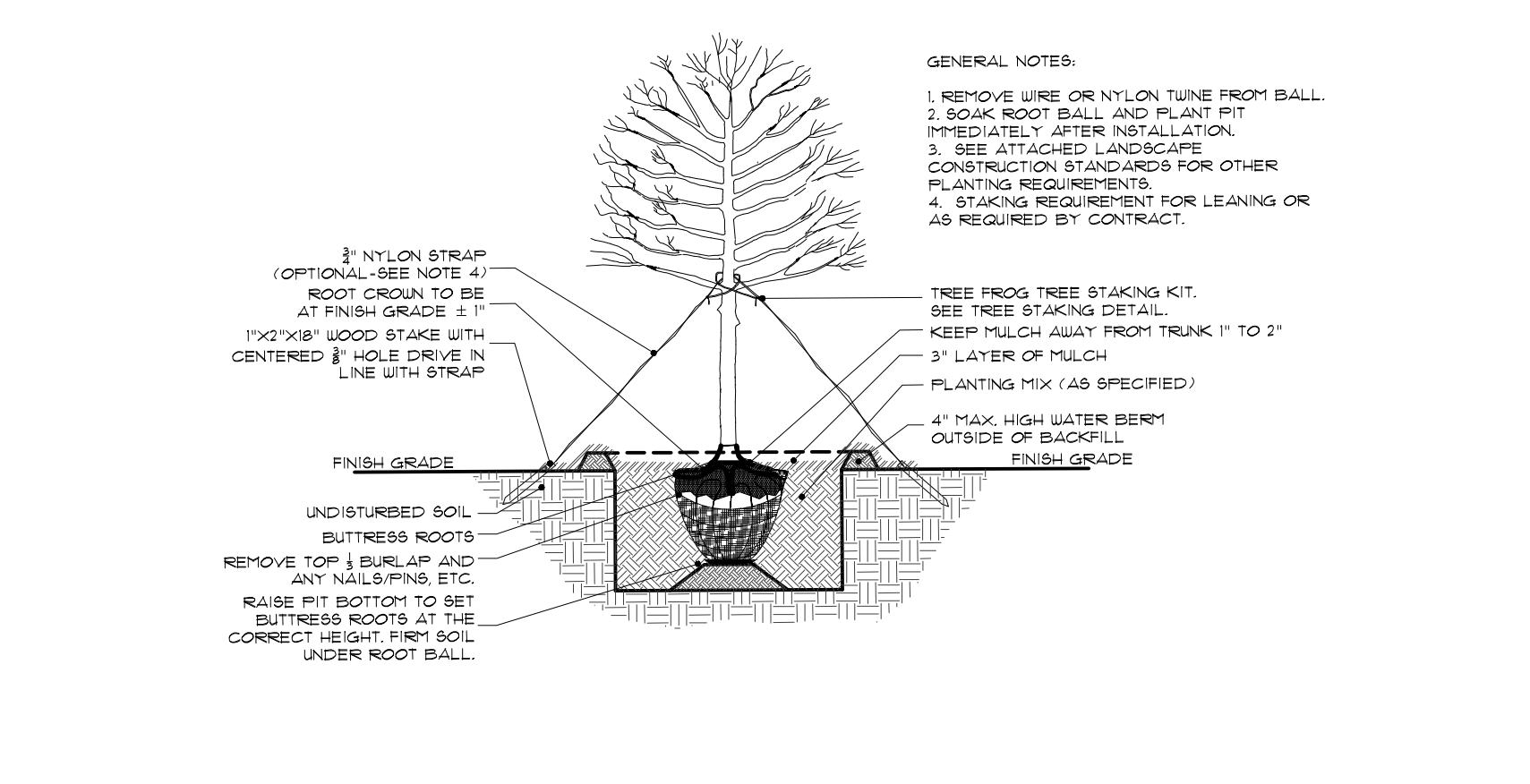
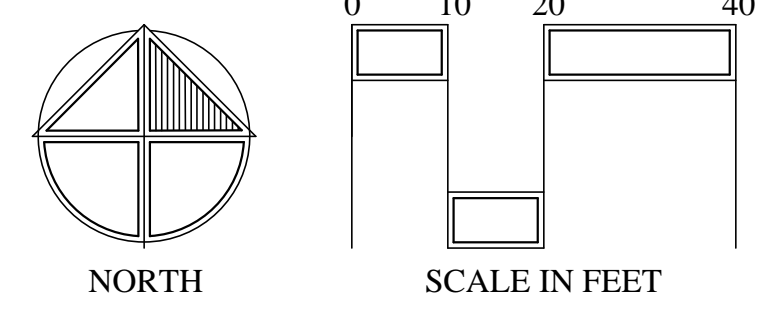


HATCHED AREAS:
LANDSCAPE BED CONSISTING OF
SHRUBS, PERENNIALS, AND
GROUNDCOVERS. FINAL DESIGN T.B.D.

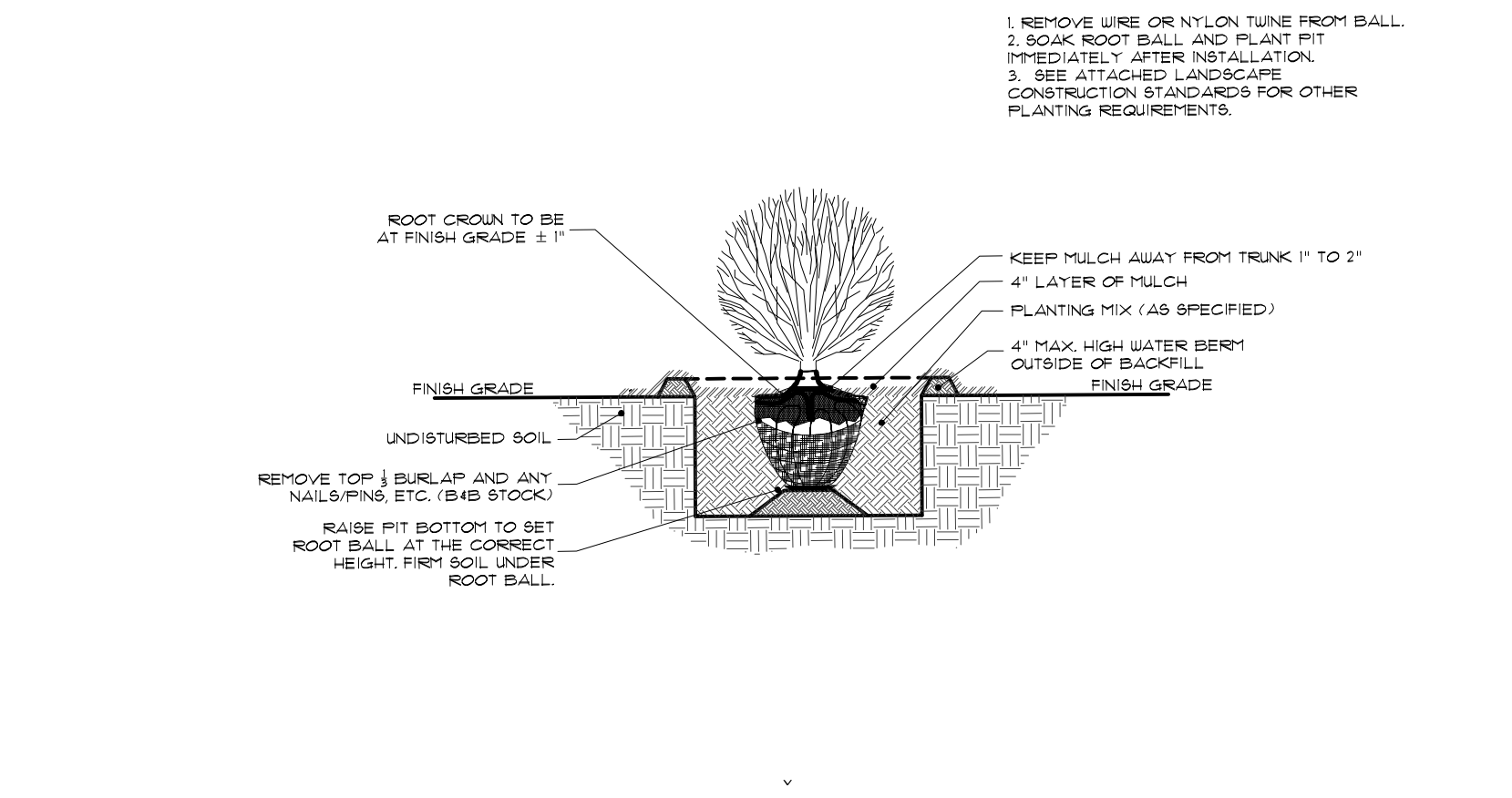
NOTES:
1. REFER TO CIVIL
DRAWINGS FOR GRADING
AND SPOT ELEVATIONS.
2. REFER TO
ARCHITECTURAL &
STRUCTURAL DRAWINGS
FOR ROOF PLANS.

- GENERAL PLANTING NOTES:
- EXISTING CONDITIONS INFORMATION IS BASED ON SITE PLAN PROVIDED BY PRECISION ENGINEERING AND HUMPHREYS & PARTNERS ARCHITECTS ON SEPTEMBER 14, 2015. INFORMATION IS FOR REFERENCE ONLY. EXISTING CONDITIONS SHOWN ON CONSTRUCTION DOCUMENTS MAY NOT BE ACCURATE AND/OR TRUE TO SCALE. FIELD VERIFY PRIOR TO CONSTRUCTION.
 - IN THE EVENT DISCREPANCIES ARISE BETWEEN EXISTING CONDITIONS SHOWN ON CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS IN THE FIELD, CONTACT LANDSCAPE ARCHITECT, MRC LANDSCAPE ARCHITECTURE AT 662-236-3371.
 - CONTRACTOR TO PROVIDE ANY AND ALL NECESSARY EROSION CONTROL (I.E. SILT FENCE, CHECK DAMS, TEMPORARY SEEDING) TO PREVENT SILT AND RUNOFF FROM EXISTING PROJECT SITE UNTIL PERMANENT GRASSING AND/OR SOD HAS BEEN ESTABLISHED ON ANY DISTURBED GROUND.
 - CONTRACTOR TO STAKE OUT ALL PROPOSED TREE LOCATIONS, TURF AREAS, AND PLANTING BED AREAS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO TIE ALL PROPOSED GRADING INTO EXISTING GRADES AT A MAXIMUM OF 4:3:1. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO PREVENT PONDING OF SURFACE RUNOFF ON PROPOSED PAVEMENT AND/OR TURF AND LANDSCAPE AREAS.
 - CONTRACTOR TO PROVIDE PERMANENT GRASSING OF ANY DISTURBED AREAS UPON COMPLETION OF CONSTRUCTION OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR ANY EROSION REPAIRS AND/OR RE-GRASSING OF DISTURBED AREAS UNTIL A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED. REFER TO THE MISSISSIPPI DEPARTMENT OF TRANSPORTATION (MDOT) MISSISSIPPI STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2004 EDITION FOR GRASSING SPECIFICATIONS IF SOD OR SEEDING IS NOT SPECIFIED ON PLANTING PLAN.
 - CONTRACTOR TO PROVIDE ANY AND ALL NECESSARY TEMPORARY FACILITIES (I.E. WASTE DISPOSAL, PORT-O-LET, TRAFFIC CONTROL, EROSION CONTROL) NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT.
 - ALL EXISTING SOD LOCATED WITHIN AREAS INDICATED AS PROPOSED PLANTING BED AREAS TO BE CUT OUT WITH MECHANICAL OR MANUAL OPERATED SOD CUTTER. EXISTING SOD TO BE RELOCATED TO AREAS IN YARD AS DESIGNATED BY OWNER AND/OR LANDSCAPE ARCHITECT IF APPLICABLE.
 - ALL PLANTING BEDS TO BE AMENDED WITH A PLANTING MIX CONSISTING OF EQUAL PARTS OF ONE-THIRD (1/3) EXISTING SOIL OR CLEAN OFF-SITE TOPSOIL, ONE THIRD (1/3) CLEAN SAND, AND ONE THIRD (1/3) COMPOSTED PINE BARK FINES FOR CLAY SOILS OR ONE THIRD (1/3) PEAT MOSS, COMPOSTED COTTON BURR OR HUMUS FOR SANDY SOILS. ALL OTHER SOIL AMENDMENTS TO BE ADDED AT RATES RECOMMEND BY SOILS REPORT. CONTRACTOR SHALL BE RESPONSIBLE FOR SOILS TEST AND REPORT AND SHALL REPORT FINDINGS TO LANDSCAPE ARCHITECT AND/OR OWNER.
 - MULCH: ALL PLANTING BEDS AND TREE MULCH RINGS TO BE MULCHED WITH A THREE (3) INCH LAYER OF DOUBLE-HAMMERED HARDWOOD MULCH. MULCH COLOR: CHOCOLATE BROWN. FOR SLOPES OVER 4:1, AREAS TO BE MULCHED WITH LONG LEAF OR SLASH FINE STRAW MULCH.
 - ALL SINGLE TRUNK TREES TO HAVE ONE (1) TREEGATOR TWENTY (20) GALLON CAPACITY INSTALLED. ALL MULTI-TRUNK TREES AND/OR EVERGREEN TREES TO HAVE ONE (1) TREE GATOR JR FIFTEEN (15) GALLON CAPACITY INSTALLED. BAGS ARE TO BE REMOVED AFTER ONE (1) COMPLETE GROWING SEASON AND GIVEN TO OWNER FOR FUTURE USE AS NEEDED.
 - PRE-EMERGE: ALL PLANTING BEDS TO BE TREATED WITH A GRANULAR PRE-EMERGENT HERBICIDE (I.E. SNAPSHOT, RONSTAR, ETC.) AT MANUFACTURER'S RECOMMENDED APPLICATION RATES. PRE-EMERGENT HERBICIDE SHALL BE APPLIED AFTER PLANTING BEDS HAVE BEEN MULCHED.
 - WARRANTY: LANDSCAPE CONTRACTOR SHALL PROVIDE A WARRANTY ON ALL PLANT MATERIALS AND WORKMANSHIP FOR NOT LESS THAN ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE.

CITY LANDSCAPE ORDINANCE PLAN
SCALE: 1" = 20'-0"



1 TREE PLANTING DETAIL
SCALE: N.T.S.



2 SHRUB PLANTING DETAIL
SCALE: N.T.S.

MRC
LANDSCAPE ARCHITECTURE

CITY LANDSCAPE PLAN
JACKSON ROW DEVELOPMENT
JACKSON AVENUE EAST
OXFORD, MISSISSIPPI 38655

CLIENT:
CA
STUDENT LIVING
161 N. CLARK AVE
SUITE 4900
CHICAGO, IL 60601

PROJECT NO.: 15-1003
SCALE: 1" = 20' - 0"
DATE: 10/28/2015
FILE:
DRAWN BY: MRC
CHKD. BY: MRC
REVISIONS:

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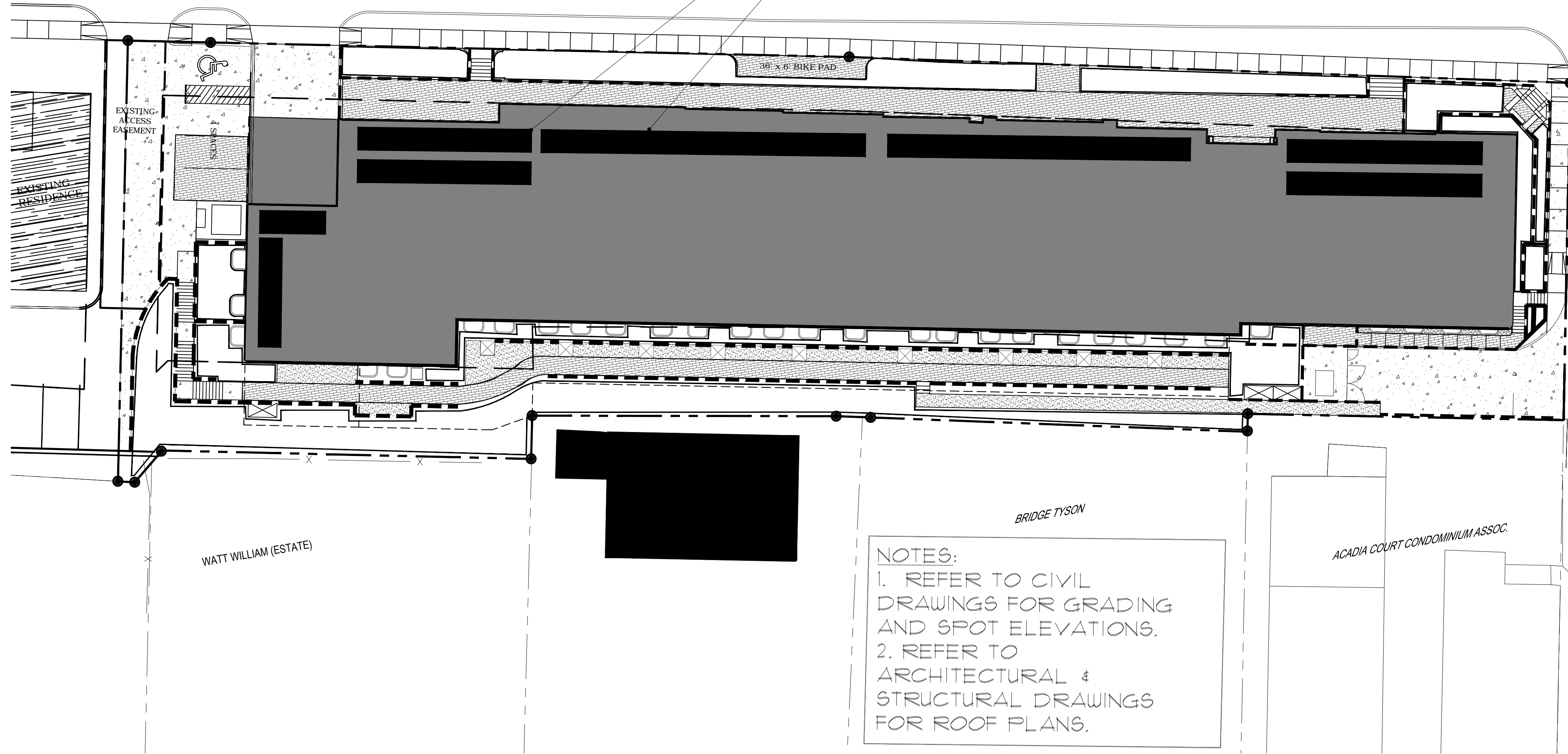
SHEET
L-101



LIVEROOF LIGHT GREEN
ROOF TRAY SYSTEM
± 1,944 # OF AREA

JACKSON AVENUE

SOUTH 6TH STREET



NOTES:
1. REFER TO CIVIL DRAWINGS FOR GRADING AND SPOT ELEVATIONS.
2. REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS FOR ROOF PLANS.

GREEN ROOF PLANTING NOTES:

GREEN ROOF BASIS OF DESIGN IS LIVEROOF LIGHT GREEN BY SOUTHEAST GREEN ROOFS LLC.

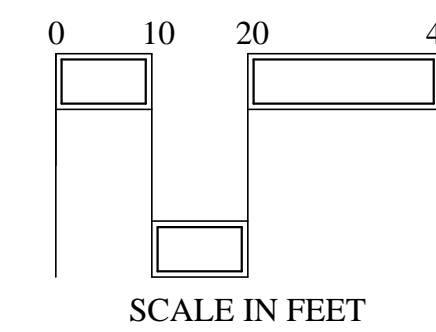
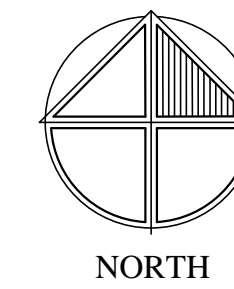
Each LiveRoof module to be pre-vegetated with 2 Sedum takesimensense 'Gold Carpet' rooted plugs and 1 Allium cernuum bare root division as the base layer. Additional succulent species grown in 48 cuttings to include the Southeast Green Roofs Low Maintenance Mix which has been tested and selected for the Southeastern U.S. including Mississippi.

SEGR Low Maintenance Mix includes but is not limited to:
Sedum spurius 1/2 'Green Mantle' 1/2
Sedum floriferum 1/2 'Weiherstephaner Gold' 1/2
Sedum spurius 1/2 'Dark Dragon' 1/2
Sedum reflexum 1/2 'Sunsplash' 1/2
Sedum ellacombianum
Sedum sexangulare 1/2 'Elatum' 1/2
Sedum album 1/2 'Murale' 1/2

All LiveRoof modules to be custom grown by Southeast Green Roofs, LLC and delivered to certified LiveRoof installers for installation and maintenance. LiveRoof modules shall be fully rooted and vegetated to a minimum of 95% fully rooted vegetative coverage.

GREEN ROOF PLAN

SCALE: 1" = 20'-0"



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SHEET

L-102



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